



North American Land Trust

BASELINE DOCUMENTATION

NORTH BAY COVE

Horry County ❖ South Carolina

IRS Requirements regarding Baseline Documentation

Treasury Regulations 26 C.F.R. § 1.170A-14(g)(5)(i)

(5) Protection of conservation purpose where taxpayer reserves certain rights—

(i) Documentation. In the case of a donation made after February 13, 1986, of any qualified real property interest when the donor reserves rights the exercise of which may impair the conservation interests associated with the property, for a deduction to be allowable under this section the donor must make available to the donee, prior to the time the donation is made, documentation sufficient to establish the condition of the property at the time of the gift. Such documentation is designed to protect the conservation interests associated with the property, which although protected in perpetuity by the easement, could be adversely affected by the exercise of the reserved rights. **Such documentation may include:**

(A) The appropriate survey maps from the United States Geological Survey, showing the property line and other contiguous or nearby protected areas;

(B) A map of the area drawn to scale showing all existing man-made improvements or incursions (such as roads, buildings, fences, or gravel pits), vegetation and identification of flora and fauna (including, for example, rare species locations, animal breeding and roosting areas, and migration routes), land use history (including present uses and recent past disturbances), and distinct natural features (such as large trees and aquatic areas);

(C) An aerial photograph of the property at an appropriate scale taken as close as possible to the date the donation is made; and

(D) On-site photographs taken at appropriate locations on the property. If the terms of the donation contain restrictions with regard to a particular natural resource to be protected, such as water quality or air quality, the condition of the resource at or near the time of the gift must be established. The documentation, including the maps and photographs, must be accompanied by a statement signed by the donor and a representative of the donee clearly referencing the documentation and in substance saying "This natural resources inventory is an accurate representation of [the protected property] at the time of the transfer."

Purposes of Baseline Documentation as Defined by the Land Trust Alliance

1. Records both the important conservation values and the current conditions of the property.
2. Serves to support qualification for tax benefits and substantiating overall public benefit by describing why the property is being conserved and documenting current conditions.
3. Operates as evidence in future litigation, if it meets court-specific rules for admissibility, and provides a foundation for future monitoring and enforcement activities.
4. Enables land trust staff to identify worthwhile projects, to retain institutional knowledge and to communicate with landowners about stewardship responsibilities.



~North Bay Cove Conservation Area~

Horry County,
South Carolina

~Table of Contents~

A. Baseline Documentation Acknowledgement

B. Baseline Documentation Overview

- I. Donor Information
- II. Introduction
- III. Conservation Purposes
- IV. Conservation Values
- V. Reserved Rights
- VI. Monitoring Policy
- VII. Mission Statement

C. North American Land Trust IRS Information

D. North American Land Trust Board Resolution & Minutes

E. Recorded Conservation Easement and Declaration of Restrictions & Covenants

F. Existing Conditions Report

G. Photographic Documentation

H. Supportive Mapping

- 1. Location Map
- 2. Base Map
- 3. Topography
- 4. Soils Map
- 5. Vegetation Map
- 6. Aerial Photograph
- 7. Concept Plan



| |
|-------------------------|
| A. Owner Acknowledgment |
|-------------------------|



~Baseline Documentation Acknowledgment~

Property: North Bay Cove Conservation Area

Location: Horry County, South Carolina

By signing below, the Owner and Land Trust certify that they have received and fully reviewed the attached Baseline Documentation in its entirety prior to recordation, and that it is an accurate representation of the physical condition of the Conservation Area to the best of their knowledge.

NORTH AMERICAN LAND TRUST:

Signature: _____
Steven W. Carter, NALT Stewardship Coordinator

Date: _____

NORTH BAY COVE, LLC:

Signature: _____

Date: _____

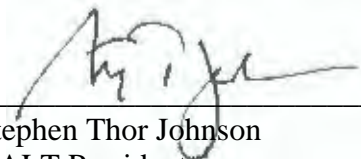



ESTABLISHED TO PRESERVE OUR NATURAL HERITAGE
THE UNDERLYING GOAL OF EACH OF OUR PROJECTS IS TO PROVIDE BENEFIT TO THE
PUBLIC WHILE RESPECTING LANDOWNERS' RIGHTS AND ECONOMIC INTERESTS.

July 20, 2016
North Bay Cove Conservation Area
Horry County, South Carolina

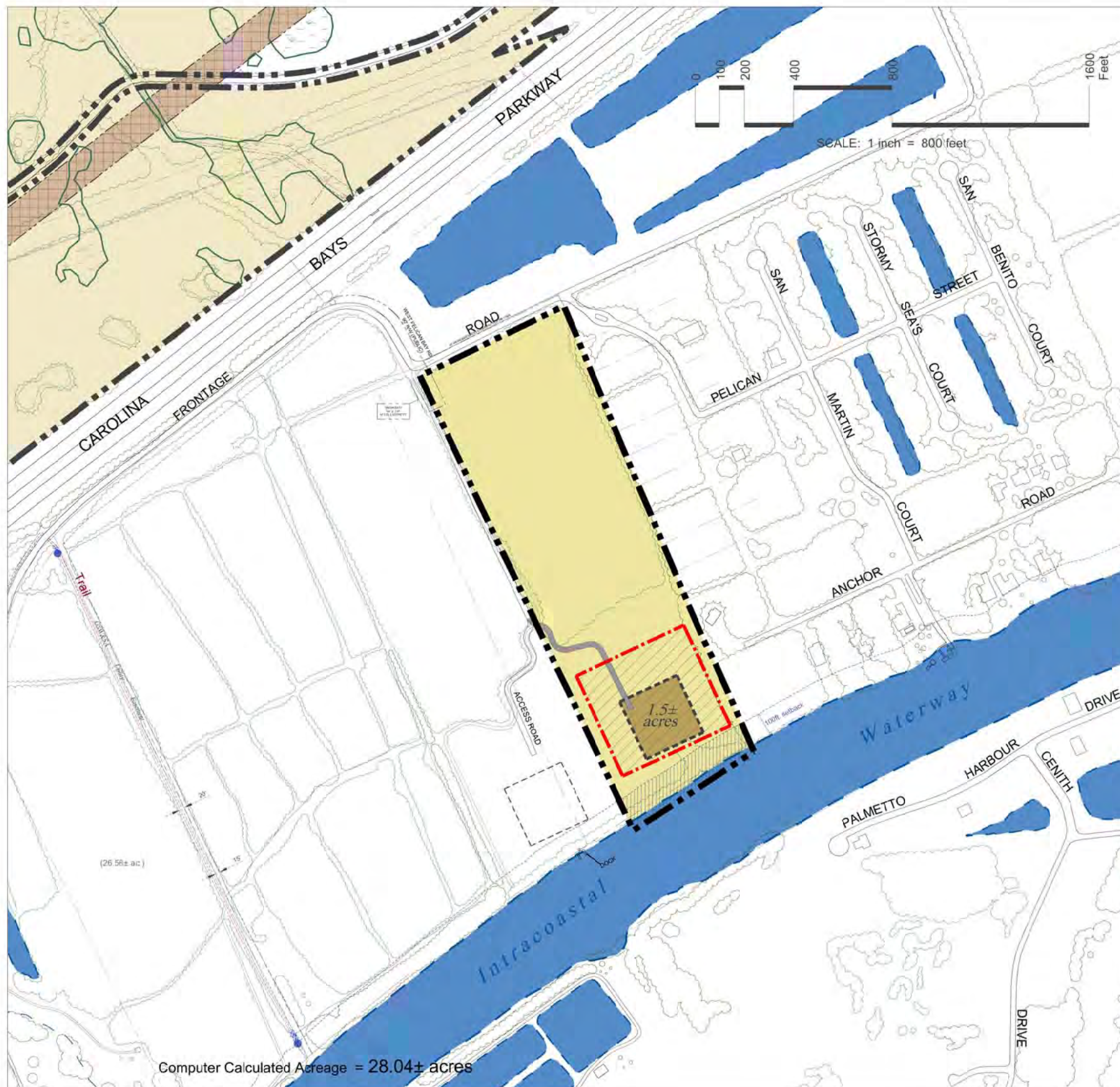
Building Zone Acknowledgement

A 5 acre "Building Zone" has been established on the North Bay Cove Conservation Area, as shown on the attached Concept Plan. Please see Section 4.1. and Subsections 4.1.1. - 4.1.5. in the North bay Cove Conservation Easement for additional terms, conditions and uses regarding the "Building Zone." The location of the "Building Zone" as shown on the Concept Plan has been carefully considered by NALT's land planning and stewardship staff, and strategically located to avoid adverse impacts to the protected conservation values and purposes.



Stephen Thor Johnson
NALT President

Williams Gandy
NALT Biogeographer

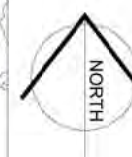


LEGEND:

-  Conservation Area - 28.04± acres
-  Building Zone @ 5.0 acres
-  Building Area @ 1.5± acres

NOTES:

1. Property boundaries from The Brigman Company, dated April 21, 2016.
2. Aerial Photography from Apollo Mapping, dated January 18, 2016.
3. Topography from DEM (2foot contour interval).
4. Soils information from USDA NRCS Soil Information System Database (NASIS).
5. Wetlands assessment from The Brigman Company, September 28, 2015.



CONCEPT PLAN

NORTH BAY COVE

HORRY COUNTY, SOUTH CAROLINA

CONCEPT PLAN

THIS MAP WAS PREPARED BY
NORTH AMERICAN LAND TRUST
FOR THE PROPERTY OWNERS
AND IS NOT TO BE USED FOR
ANY OTHER PURPOSES.



10000 North American Land Trust • 10000 North American Land Trust • 10000 North American Land Trust • 10000 North American Land Trust



| |
|---|
| <p>B. Baseline Documentation Overview</p> |
|---|



NORTH AMERICAN LAND TRUST
Conservation Easement
Baseline Documentation

~North Bay Cove
Conservation Area~

Horry County,
South Carolina

~Baseline Documentation Overview~

I. Donor Information

North Bay Cove, LLC
3424 Peachtree Road NE STE 1550
Atlanta, GA 30326

II. Introduction

The following Baseline Documentation describes the Conservation Values and physical condition of the North Bay Cove Conservation Area located in Horry County, South Carolina. The North Bay Cove Conservation Area is comprised of approximately 28.04 acres.

The North Bay Cove Conservation Area is located immediately north of Myrtle Beach which is one of the most densely developed coastal areas in the state of South Carolina. This property and surrounding properties are being encroached upon by intense high density development. Conservation of such properties enhances water quality and protects breeding and foraging habitat for plant and animal species that would otherwise be lost to development.

A 5 acre “Building Zone” has been established on the North Bay Cove Conservation Area, as shown on the Concept Plan. Please see Section 4.1. and Subsections 4.1.1. - 4.1.6. in the North Bay Cove Conservation Easement for additional terms, conditions and uses regarding the “Building Zone.” The location of the “Building Zone” as shown on the Concept Plan has been carefully considered by NALT’s land planning and stewardship staff, and strategically located to avoid adverse impacts to the protected conservation values and purposes.

Please reference the Existing Condition Report, Photographic Documentation, and Supportive Mapping sections of this Baseline Documentation which further describe the Conservation Values of the North Bay Cove Conservation Area.

III. Conservation Purposes

The IRS Tax Code Section 26 U.S.C. § 170 (h)(4)(a) and 26 CFR § 170A-14(d)(i), has established specific ‘Conservation Purposes’ that, if perpetually protected through the donation Conservation Easement, could render the donor eligible for a charitable contribution. In particular, the North Bay Cove Conservation Area satisfies three (3) Conservation Purposes:

1. *Preservation of the Conservation Area as a relatively natural habitat of fish, wildlife, or plants or similar ecosystem; and*
2. *Preservation of the Conservation Area as open space which provides scenic enjoyment to the general public and yields a significant public benefit; and*
3. *Preservation of the Conservation Area as open space which, if preserved, will advance a clearly delineated Federal, State or local governmental conservation policy and will yield a significant public benefit.*

IV. Conservation Values

The following ‘Conservation Values’ document the ecological and environmental significance of the North Bay Cove Conservation Area. Please reference the Existing Conditions Report, Photographic Documentation, and Supportive Mapping sections of the Baseline Document that examine the Conservation Values of the Conservation Area in greater detail.

- The Conservation Area provides wildlife corridors, breeding habitat, foraging habitat and shelter for at least fifty species of animals.
- The Conservation Area provides the natural ecological requirements for at least one hundred species of plants.

- The Conservation Area is highly visible from the Atlantic Intracoastal Waterway, thus providing a natural scenic view to the general public.
- The Conservation Area supports the natural community: Southern Atlantic Coastal Plain Mesic Hardwood Forest.
- The Conservation Area provides habitat for and therefore supports at least six bird species considered Species of Regional Importance by the Partners In Flight Species Assessment Database: Brown Thrasher, Great Crested Flycatcher, Carolina Chickadee, Yellow-throated Warbler, Field Sparrow, Ruby-throated Hummingbird.

The following government conservation policies are supported by the grant of this Conservation Easement and the Conservation Values described above achieve a significant public benefit towards the fulfillment of these conservation policies:

- The Conservation Area helps to fulfill the goals of the South Carolina Forest Legacy Program, including the following specified goals: “protect river systems, wetlands, and their associated upland habitats; reduce forest fragmentation caused by development; provide buffer areas and connectivity to already protected areas; and promote Best Management Practices for forestry.”
- South Carolina Code Annotated 48-59-20 et seq., states that “rapid land development and economic growth which has benefited the state’s people and economy, but has also led to the loss of forestlands, farmlands, wildlife habitats, outstanding natural areas, beaches and public areas for outdoor recreation; and has impacted the health of the state’s streams, rivers, wetlands, estuaries, and bays, all of which impacts the quality of life of the state’s current and future citizens and may jeopardize the well-being of the state’s environment and economy if not addressed appropriately.”
- South Carolina Code Annotated 48-59-20 et seq., also notes that “the protection of open space by acquisition of interests in real property from willing sellers is essential to ensure that the State continues to enjoy the benefits of wildlife habitats, forestlands, farmlands, parks, historical sites, and healthy streams, rivers, bays, and estuaries; for recreational purposes, for scientific study, for aesthetic appreciation, for protection of critical water resources, to maintain the state’s position as an attractive location for visitors and new industry, and to preserve the opportunities of future generations to access and benefit from the existence of the state’s outstanding natural and historical sites.”
- The Horry County Parks and Open Space Plan states the following public objectives that are advanced by the conservation of the Conservation Area by this Conservation Easement:
 - a) Promote the preservation of open space, scenic areas and vistas greenways, squares and village greens;

- b) Promote the protection and conservation of environmental or natural resources.
- The Horry County Comprehensive Plan states the following public Water Resource needs and goals that are advanced by the conservation of the Conservation Area by this Conservation Easement:
 - a) Maintain and improve the surface water quality for all water bodies located in Horry County.
 - b) Maintain and improve water quality in the coastal zone.
 - c) Conserve the essential flood reduction, groundwater recharge, pollution filtering, and recreation functions of wetlands.
 - d) Recognize the link between land use and water quality, use a combination of regulation and Incentives to ensure that new development adequately mitigates its impacts on water quality.
 - e) Encourage development techniques which maintain or improve water quality.

The substantially reduced allowance for built structures as perpetually limited by this Conservation Easement will contribute to water quality protection by allowing for natural water infiltration and reduction of erosion and sediment pollution and other sources of pollution associated with development.

- The Horry County Comprehensive Plan states the following public Land Resource needs and goals that are advanced by the conservation of the Conservation Area by this Conservation Easement:
 - a) Horry County needs to protect and conserve its forests, agriculture, plant and animal habitat, and urban trees while increasing its preserved open areas, scenic areas and recreational opportunities.
 - b) Protect, promote, and enhance, the forestlands of Horry County in a manner consistent with achieving the greatest good for its citizens.
 - c) Recognize the fragmentation of the natural landscape that is occurring and take steps to mitigate these effects.
 - d) The use of native species should be encouraged whenever possible.

The Conservation Easement will contribute to the accomplishment of these goals by significantly and perpetually reducing the potential for development and land disturbance which would have the effect of open space conversion, forest removal and landscape fragmentation. The Conservation Easement accomplishes, through private conservation, these goals in a way that zoning regulations cannot.

- Since 2014 North American Land Trust has been working in the northern region of Horry County, termed The Atlantic Intracoastal Waterway Conservation Corridor (AIWWCC). At the time of this document, the AIWWCC is a 6 mile stretch of conservation work that begins approximately at the intersection of SC Highway 17 and SC Highway 22 and ends to the northeast at approximately the intersection of SC Highway 17 and the Robert Edge Parkway. In this 6 mile conservation corridor, North American Land Trust has conserved over 814 acres

within 2 miles north of the Atlantic Intracoastal Waterway (AIW). 48.5% of this land is contiguous with the AIW. South Carolina allocated 2015 fiscal year funding of \$500,000.00 to AIW preservation efforts. The Conservation Area contributes further to these conservation efforts.

V. Reserved Rights

The Reserved Rights that have been allowed in the Conservation Easement have been carefully reviewed for consistency with the Conservation Purposes and the protection of the Conservation Values. Approval of the Reserved Rights by the Holder must be conducted under the notice and review procedure set forth in the Conservation Easement, which assures that the Holder may reject any exercise of the Reserved Rights that fails to protect the Conservation Purposes and the Conservation Values. Consideration of certain Reserved Rights are specifically addressed below:

- Dwellings and other Buildings in Building Zone. Limited improvements and residential use is permitted in the Reserved Rights within a defined “Building Zone”. Protection of the Conservation Purposes and the Conservation Values is assured by restrictions on these predetermined locations of disturbance and use. The Holder has a right of prior approval of any such activity. The amount of disturbance has been determined to be *de minimis* compared to the dimensions and context of the Conservation Area.
- Roads and Driveways. These are strictly controlled by Holder and must be reviewed and approved subject to the obligation of the Owner to protect the Conservation Purposes and the Conservation Values.
- Alternative Energy Structures. It is important to address issues of climate change that alternative energy structures be permitted on conserved properties, subject to review and limitations. The Conservation Easement requires that any such structures serve only permitted uses in the Conservation Area and are pre-approved by Holder.
- Buildings. All other buildings are subject to strict size limitations assuring that they are only *de minimis* as compared to the size of the Conservation Area and are subject to approval by the Holder for consistency with the Conservation Purposes and Conservation Values.
- Trails. Trails of various sorts are needed for the proper management and permitted use of the Conservation Area. Accordingly, trails are permitted, but only subject to limitations that will serve to protect the Conservation Purposes and the Conservation Values.
- Water Courses. Dredging, channelizing or other manipulation of previously-altered natural or manmade water courses within the Conservation Area may only be conducted if necessary to maintain wetlands, if any, existing on the Conservation Area, to restore wetlands previously existing on the Conservation Area.
- Subdivision and Allocation of Reserved Rights. Subdivision will have no impact on the legal enforceability of the Conservation Easement on the Conservation Area or any lots created from the Conservation Area. Nevertheless, in order to

prevent any impact in the ability of Holder to monitor and enforce the Conservation Area or on the long term stewardship of the Conservation Area, Owner may only subdivide the Conservation Area with prior approval from Holder.

- Existing Structures. Structures existing on the Conservation Area on the date of this Conservation Easement may only be maintained or, in some case, enlarged to limited degree, in order to protect the Conservation Purposes and the Conservation Values.
- Utility Installations. Utilities are necessary for any property to function. However, they are restricted to those necessary to service the permitted uses and the Conservation Easement imposes certain other limitations designed to protect the Conservation Purposes and the Conservation Values, including Holder approval.
- Tree Cutting and Forest Management. Tree harvesting is appropriately limited. Primarily, there are areas where the Conservation Easement prohibits or restricts harvesting and all forestry activity must be done only in accordance with a Forest Management Plan, which must meet the professional standards set forth in the Conservation Easement, as well as Best Management Practices. Failure to do so is an enforceable violation of the Conservation Easement.

VI. Monitoring Policy

Part of the responsibility NALT assumes when it accepts the donation of a Conservation Easement is the perpetual monitoring of the subject property to ensure that the integrity of the Conservation Purposes remains intact. This Baseline Document will provide the basis for the monitoring program. By chronicling the property through photographs, professional reports, and maps an accurate depiction of the property is presented at the time of the donation. This will prove essential to a future NALT representative who can quickly compare data and photographs to determine how the property has changed. Regularly scheduled monitoring visits will also help establish a sound relationship between the landowner and land trust. This is an important ingredient for effective stewardship.

The Monitoring Process:

1. Notify the landowner prior to the monitoring visit and provide them, or their representative, an opportunity to meet and/or accompany you.
2. Review the Baseline Documentation for the property and become familiar with the Restrictions and Reserved Rights clauses in the Conservation Easement.
3. Survey the property and record any apparent changes since the previous monitoring visit, or discrepancies from the Baseline Documentation. Attempt to take photographs in the same position and location as previous photographs.
4. Communicate with the landowner about the visit and ask if they have questions. Find out if they intend to initiate any Reserved Rights in the immediate future.

5. Draft a report describing the visit and provide to landowner for review and comment.
6. Our monitoring and enforcement program has proven effective in regularly viewing the easement property, enforcing the restrictions, and keeping the landowners informed - which will be done in perpetuity.

It is crucial that the landowner communicate with NALT about any future activities within the Conservation Easement Area. This includes exercising any of the Reserved Rights in Article 4. This will ensure NALT's files remain updated and will avoid any potential misunderstandings during regularly scheduled monitoring visits.

NALT is confident these steps will ensure a harmonious relationship between landowner and land trust while protecting the Conservation Areas. Thank you for your cooperation.

VII. Mission Statement

The Mission of North American Land Trust is to promote long-term stewardship of our natural and cultural heritage by implementing successful private land conservation projects and promoting innovative land conservation techniques.



C. NALT IRS Information



ESTABLISHED TO PRESERVE OUR NATURAL HERITAGE
THE UNDERLYING GOAL OF EACH OF OUR PROJECTS IS TO PROVIDE BENEFIT TO THE
PUBLIC WHILE RESPECTING LANDOWNERS' RIGHTS AND ECONOMIC INTERESTS.

Important Tax Information Regarding North American Land Trust

The following information is attached regarding NALT's current status:

Internal Revenue Service – Charitable Status

The IRS notified NALT that it had granted it permanent status on June 25, 1997 as a publicly supported 501 (c) (3) organization as described in section 509 (a)(1) and 170 (b) (1) (A) (vi). The notification is attached to this memorandum. Tax returns (IRS form 990) have been filed annually and are available upon request.

Internal Revenue Service – Employer Identification Number

NALT was assigned an Employer Identification Number on August 28, 1992 (Notification # CP 575 E).

The EIN that was assigned is: **23-2698266**

A copy of the notification is attached to this memorandum.

Commonwealth of Pennsylvania – Bureau of Charitable Organizations

NALT is registered with the Bureau of Charitable Organizations and has submitted annual reports by the required deadlines.

The registration number is: **0014473**

Auditor's Report

NALT has an annual audit that is performed by the following firm:

O'Connell & Company
Certified Public Accountants
Suite 213
One Washington Square
8101 Washington lane
Wyncote, Pa 19095

INTERNAL REVENUE SERVICE
DISTRICT DIRECTOR
P. O. BOX 2508
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date:

Employer Identification Number:
23-2698266

DLN:

17053088920007

Contact Person:

D. A. DOWNING

Contact Telephone Number:

(513) 241-5199

Our Letter Dated:

November 1992

Addendum Applies:

No

NORTH AMERICAN LAND TRUST
C/O ANDREW JOHNSON
PO BOX 134
CHADDS FORD, PA 19317-0134

Dear Applicant:

This modifies our letter of the above date in which we stated that you would be treated as an organization that is not a private foundation until the expiration of your advance ruling period.

Your exempt status under section 501(a) of the Internal Revenue Code as an organization described in section 501(c)(3) is still in effect. Based on the information you submitted, we have determined that you are not a private foundation within the meaning of section 509(a) of the Code because you are an organization of the type described in section 509(a)(1) and 170(b)(1)(A)(vi).

Grantors and contributors may rely on this determination unless the Internal Revenue Service publishes notice to the contrary. However, if you lose your section 509(a)(1) status, a grantor or contributor may not rely on this determination if he or she was in part responsible for, or was aware of, the act or failure to act, or the substantial or material change on the part of the organization that resulted in your loss of such status, or if he or she acquired knowledge that the Internal Revenue Service had given notice that you would no longer be classified as a section 509(a)(1) organization.

As of January 1, 1984, you are liable for taxes under the Federal Insurance Contributions Act (social security taxes) on remuneration of \$100 or more you pay to each of your employees during a calendar year. You are not liable for the tax imposed under the Federal Unemployment Tax Act (FUTA).

You are required to file Form 990 only if your gross receipts each year are normally more than \$25,000. For guidance in determining whether your gross receipts are "normally" more than \$25,000, see the instructions for Form 990. If a return is required, it must be filed by the 15th day of the fifth month after the end of your annual accounting period. A penalty of \$10 a day is charged when a return is filed late, unless there is reasonable cause for the delay. However, the maximum penalty charged cannot exceed \$5,000 or 5 percent of your gross receipts for the year, whichever is less. This penalty may also be charged if a return is not complete, so please be sure your return is complete before you file it.

If we have indicated in the heading of this letter that an addendum applies, the addendum enclosed is an integral part of this letter.


Letter 1050 (DO/CG)

NORTH AMERICAN LAND TRUST

Because this letter could help resolve any questions about your private foundation status, please keep it in your permanent records.

If you have any questions, please contact the person whose name and telephone number are shown above.

Sincerely yours,

A handwritten signature in dark ink, appearing to be "H. L. H.", written over a horizontal line.

District Director

DEPARTMENT OF THE TREASURY
INTERNAL REVENUE SERVICE
PHILADELPHIA PA 19255

DATE OF THIS NOTICE: 09-28-92
NUMBER OF THIS NOTICE: CP 575 E
EMPLOYER IDENTIFICATION NUMBER: 23-2698266
FORM: SS-4 TAX PERIOD: N/A
2820722445 0

NORTH AMERICAN LAND TRUST
X GAIL CUMMINGS LEVAN
3800 CENTRE SQUARE WEST
PHILADELPHIA PA 191022186

FOR ASSISTANCE PLEASE
WRITE TO US AT:

INTERNAL REVENUE SERVICE
PHILADELPHIA PA 19255

BE SURE TO ATTACH THE
BOTTOM PART OF NOTICE

OR YOU MAY CALL US AT:

574-9900 LOCAL PHIL.
1-800-829-1040 OTHER PA

NOTICE OF NEW EMPLOYER IDENTIFICATION NUMBER ASSIGNED

Thank you for your Form SS-4, Application for Employer Identification Number (EIN). The number assigned to you is shown above. It will be used to identify your business account, tax returns and documents, even if you don't have employees.

1. Keep a copy of the number in your permanent records.
2. Use your name and the number exactly as shown above on all Federal tax forms.
3. Use the number on all tax payments and tax-related correspondence or documents.

Using a variation of your name or number may result in delays or errors in posting payments to your account. It also could result in the assignment of more than one Employer Identification Number.

We have established the filing requirements and tax period shown above for your account based upon the information provided. If you need help to determine your required tax year, get publication 538, Accounting Periods and Methods, which is available at most IRS offices.

Assigning an Employer Identification Number does not grant tax-exempt status to nonprofit organizations. Any organization, other than a private foundation, having annual gross receipts normally of \$5,000 or less is exempt by statute if it meets Internal Revenue Code requirements. Such organizations are not required to file Form 1023, Application for Recognition of Exemption, or Form 990, Return of Organization Exempt from Income Tax.

However, if your organization wants to establish its exemption and receive a ruling or determination letter recognizing its exempt status, file Form 1023 with the Key District Director. For details on how to apply for the exemption, see Publication 557, Tax-Exempt Status for Your Organization.

Thank you for your cooperation.

Commonwealth of Pennsylvania



Department of State *Bureau of Corporations and Charitable Organizations*

Certificate of Registration

No. 14473

*This is to certify that **North American Land Trust** is registered as a **Charitable Organization** with the Department of State, Bureau of Corporations and Charitable Organizations under The Solicitation of Funds for Charitable Purposes Act, 10 P.S. § 162.1 et seq., and is authorized to solicit charitable contributions under the conditions and limitations set forth under the Act.*

This certificate is not to be used as identification, nor does it constitute an endorsement.

Pedro A. Contes

Secretary of the Commonwealth

EXPIRATION DATE & AUTOMATIC EXTENSION: 11/15/2016



D. NALT Board Resolution and Minutes



NORTH AMERICAN LAND TRUST
Board Resolution & Minutes

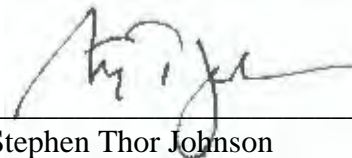
June 17, 2016

The meeting of the Board of Directors was called to order at 10:00 am. by telephone conference call. Directors in attendance by phone or in person were: John Witherspoon, John Halsey, Stephen Johnson, Paul Haldeman, and Lee Stephens. Others in attendance by phone or in person: Karen Mazza, Steve Carter, Peter Smith, Will Gandy, Lee Echols, Amy Bruckner, Jamie McVickar, and Mike Duus.

Excerpt from Minutes of Meeting:

- The Board **approved** the acceptance of a Conservation Easement on the North Bay Cove Conservation Area located in Horry County, South Carolina consisting of approximately 28.04± acres.

The above is a true and correct excerpt of the minutes of the Board Meeting on June 17, 2016.



Stephen Thor Johnson
President



E. Recorded Conservation Easement



~North Bay Cove
Conservation Area~

Horry County,
South Carolina

~Recorded Conservation Easement and
Declaration of Restrictions & Covenants~



| |
|-------------------------------|
| F. Existing Conditions Report |
|-------------------------------|

NORTH BAY COVE CONSERVATION AREA

Biological Assessment Horry County, South Carolina

Prepared For:

North American Land Trust
P.O Box 467, Chadds Ford, PA 19317



Common sunflower (*Helianthus annuus*) in the southern pasture

Prepared By:

Williams Gandy, Biogeographer
Peter Smith, Conservation Biologist
North American Land Trust
NC Field Office
P.O. Box 83
Boone, NC 28607
(828) 284.9894, wgandy@nalt.org



July 2016

DATES VISITED: 2015/07/08; 2016/04/21; 2016/07/12

COUNTY: Horry

CONSERVATION AREA SIZE: 28.04 acres

LOCATION: Approximate Conservation Area center: 33.828935, -78.713141

UNITED STATES ECOREGION: Conservation Area is located in the Middle Atlantic Coastal Plain, specifically within Level VI EPA Ecoregion #63h (Carolina Flatwoods)

WATERSHED: Little River (HUC: 0304020803)

USGS QUAD: Wampee (USGS Quadrangle ID: 33078-G6)

GENERAL DESCRIPTION

The property is contiguous with the 2015 NAL T held South Bay Cove Conservation Easement. Approximately 575 line feet of the wooded tract border the Atlantic Intracoastal Waterway (AIW) along the property's southern border.

Roughly 2/3 of the property is wooded while the remaining balance has been planted in sunflower and used as a dove hunting field. The wooded portion of the property appears to have been logged sometime during 2005. As a result, the stand is quite dense and thinning should be considered in the future. The timber harvest was not a clear cut, and larger more mature trees are occasional throughout.

The forested areas are best described as Southern Atlantic Coastal Plain Mesic Hardwood Forest System (CES203.242) (NatureServe 2016). Canopy dominants include sweetgum (*Liquidambar styraciflua*), tulip poplar (*Liriodendron tulipifera*), and scattered thick patches of loblolly pine (*Pinus taeda*) are frequently found in this young forest as well; average DBH for these dominant species is approximately 6-8". Large mature examples of these species can be found to a lesser degree, with other large mature examples of swamp chestnut oak (*Quercus michauxii*), water oak (*Q. nigra*) with the occasional black cherry (*Prunus serotina*) and sugarberry (*Celtis laevigata*). Typical subcanopy and shrub taxa include sweetbay (*Magnolia virginiana*), swamp bay (*Persea palustris*), dwarf palmetto (*Sabal minor*), switch and giant cane (*Arundinaria tecta* & *A. gigantea*), wax myrtle (*Myrica cerifera*), swamp red maple (*Acer rubrum* var. *trilobum*), and others. The non-native/invasive privet (*Ligustrum* sp.) is common throughout the forested area. Herbaceous taxa are primarily restricted to the forest edge and largely dominated by many species of the aster family (*Symphyotricum* spp., *Solidago* spp.), various graminoids and bracken fern (*Pteridium aquilinum*).

The Conservation Area provides habitat for and therefore supports at least six bird species considered Species of Regional Importance by the Partners In Flight Species Assessment Database: Brown Thrasher, Great Crested Flycatcher, Carolina Chickadee, Yellow-throated

Warbler, Field Sparrow, Ruby-throated Hummingbird as documented by NALT Conservation Biologist, Peter Smith.

The property is highly visible from the AIW and the public Bourne Trail. There are no structures on the property. Only an unimproved road along the western property line exists.

PHYSICAL DESCRIPTION

ASPECT: Mostly flat, no appreciable aspect

SLOPE: Mostly flat (0-3.0%), with steep (30.1-60.0%) bluffs at the ICW

ELEVATION: ~20'-30'

TOPOGRAPHY: Typical Coastal Plain topography, flat uplands with very subtle grades. Eroded bluffs at the ICW

HYDROLOGY AND MOISTURE: Mesic

GEOLOGY: Qso: Pleistocene sand primarily

ANIMAL HABITAT FACTORS

HABITAT HETEROGENEITY: Two distinct habitats of young mesic forest and planted pasture.

AMPHIBIAN BREEDING SITES: Occasional, some topographic sags and ditch lines will hold water for extended periods of time.

DENNING SITES: None noted.

BIG TREES/LARGE CAVITIES: Throughout the mesic hardwood forest along the ICW.

MAST PRODUCING SPECIES: Oaks (*Quercus spp.*), hickories (*Carya ovalis*)

RARE, UNCOMMON OR INDICATOR SPECIES

Global, Federal, and State ranking information for rare species is maintained by the State Natural Heritage Program and the US Fish and Wildlife Service. Any rare species discussed in the following text will follow the standardized ranking system. Global ranks are defined thusly: G1 = critically imperiled globally because of extreme rarity (5 or fewer occurrences), G2 = imperiled globally because of rarity (6 to 20 occurrences), G3 = rare or uncommon (localized within range or narrowly endemic to special habitats, generally 20-100 occurrences), G4 = apparently secure, G5 = demonstrably secure, T_ = the rank of a subspecies or variety. State rankings follow the same categories: S1 = critically imperiled in state because of extreme rarity (5 or fewer occurrences), S2 = Imperiled in state because of rarity (6 to 20 occurrences), S3 = rare or uncommon (localized within range or narrowly endemic to special habitats, generally 20-100 occurrences), S4 = apparently secure, S5 = demonstrably secure. Watchlist status is as follows: W1 = rare, but relatively secure, W2 = rare, but taxonomically questionable, W3 = rare, but uncertain documentation, W4 = rare, but believed not native, W5A = rare because of severe decline, W5B = exploited plants, W6 = regionally rare, W7 = rare and poorly known. A "?" after a ranking indicates that the ranking is uncertain. An "X" after state or global designation indicates that the species is presumed extirpated. State Designations: E = Endangered, T =

Threatened, SC = Special Concern, SR = Significantly Rare, -L = Limited, -T = Throughout, -D = Disjunct, -P = Peripheral. Federal Designations: LT = Listed Threatened, LE = Listed Endangered, FSC = Federal Species of Concern

SPECIAL STATUS SPECIES PRESENT

None noted during surveys

LANDSCAPE FACTORS

ADJACENT LAND USE/OFFSITE STRESSES: Agricultural and forested lands.

RELATION/CONNECTION TO OTHER SITES: South Bay Cove and Sandridge Focus Area.

DEGREE OF THREAT/POTENTIAL FOR CHANGE: Very low

MANAGEMENT

A Conservation Management Plan will be prepared by the North American Land Trust post biological assessment report and baseline documentation.

PLANT SPECIES OBSERVED

| Scientific Name | Common Name | Comments |
|---|--------------------------|-----------------|
| <i>Acer rubrum</i> var. <i>trilobum</i> | Carolina red maple | |
| <i>Ambrosia artemisiifolia</i> | annual ragweed | |
| <i>Ampelopsis arborea</i> | Peppervine | |
| <i>Aralia spinosa</i> | devil's walkingstick | |
| <i>Arundinaria gigantea</i> | giant cane | |
| <i>Baccharis halimifolia</i> | eastern baccharis | |
| <i>Callicarpa americana</i> | American beautyberry | |
| <i>Carya ovalis</i> | red hickory | |
| <i>Celtis laevigata</i> | sugarberry | |
| <i>Clethra alnifolia</i> | coastal sweet pepperbush | |
| <i>Cornus stricta</i> | stiff dogwood | |
| <i>Dicanthelium</i> sp. | panic grass | |
| <i>Erechtites hieracifolia</i> | pilewort | |
| <i>Erigeron philadelphicus</i> | Philadelphia fleabane | |
| <i>Eupatorium capillifolium</i> | dogfennel | |
| <i>Fraxinus caroliniana</i> | Carolina ash | |
| <i>Gelsemium sempervirens</i> | Carolina Jessamine | |
| <i>Helenium amarum</i> | yellow sneezeweed | |
| <i>Helianthus annuus</i> | common sunflower | |

| | | |
|------------------------------------|-------------------------|----------|
| <i>Ilex opaca</i> | American holly | |
| <i>Ilex vomitoria</i> | yaupon | |
| <i>Ipomoea sp.</i> | morning glory | |
| <i>Juncus sp.</i> | rush | |
| <i>Juniperus virginiana</i> | eastern red cedar | |
| <i>Ligustrum sp.</i> | privet | Invasive |
| <i>Liquidambar styraciflua</i> | sweetgum | |
| <i>Liriodendron tulipifera</i> | tulip poplar | |
| <i>Lonicera japonicum</i> | Japanese honeysuckle | |
| <i>Magnolia grandiflora</i> | southern magnolia | |
| <i>Morus rubra</i> | red mulberry | |
| <i>Myrica cerifera</i> | wax myrtle | |
| <i>Osmunda regalis</i> | royal fern | |
| <i>Osmundastrum cinnamomeum</i> | cinnamon fern | |
| <i>Parthenocissus quinquefolia</i> | Virginia creeper | |
| <i>Persea palustris</i> | swamp bay | |
| <i>Pinus taeda</i> | loblolly pine | |
| <i>Platanus occidentalis</i> | sycamore | |
| <i>Populus deltoides</i> | eastern cottonwood | |
| <i>Prunus serotina</i> | black cherry | |
| <i>Pteridium aquilinum</i> | bracken fern | |
| <i>Quercus coccinea</i> | southern red oak | |
| <i>Quercus michauxii</i> | swamp chestnut oak | |
| <i>Quercus nigra</i> | water oak | |
| <i>Quercus phellos</i> | willow oak | |
| <i>Rhus copallinum</i> | winged sumac | |
| <i>Rubus pensilvanicus</i> | Pennsylvania blackberry | |
| <i>Sabal minor</i> | dwarf palmetto | |
| <i>Sassafras albidum</i> | Sassafras | |
| <i>Smilax bona-nox</i> | saw greenbriar | |
| <i>Solidago spp.</i> | goldenrod | |
| <i>Symplocos tinctoria</i> | horse sugar | |
| <i>Taraxacum officinale</i> | common dandelion | |
| <i>Toxicodendron radicans</i> | poison ivy | |
| <i>Verbena officinalis</i> | common vervain | Invasive |
| <i>Vitis laurifolia</i> | laurel greenbriar | |
| <i>Vitis rotundifolia</i> | roundleaf greenbriar | |

Description of observed plants can be found at: <http://plants.usda.gov/>

REFERENCES

NatureServe. (2016). NatureServe Explorer: An online encyclopedia of life [web application]. Version 7.1. NatureServe, Arlington, Virginia. Available <http://www.natureserve.org/explorer>. (Accessed: July 12, 2016).

Weakley, A. S. (2015). Flora of the southern and mid-Atlantic states [working draft of 29 May 2015]. University of North Carolina Herbarium, North Carolina Botanical Garden, University of North Carolina, Chapel Hill.

Williams Gandy

Biogeographer

Williams Gandy

151 Sheridan Avenue
Boone, NC

(828) 284-9894
williamsgandy@nalt.org

Experience

North American Land Trust / Biogeographer

2012 - Present

Build, administrate and serve out NALT geodatabases, provide staff support for GPS and GIS, cartographic output, CADD/GIS compatibility, botanical inventory, plant community descriptions & mapping, biological and conservation value assessment for potential easement acquisition.

City of Winston-Salem Division of Stormwater/ Stormwater/Engineering Technician

2010 - 2012

GIS building and maintenance, environmental GIS modeling, GPS sampling, stormwater BMP inspection, illicit discharge stream tracking, field mapping, GIS method development, field water quality and quantity data collection.

The Response Group/British Petroleum / GIS Situation Analyst

May - July 2010

Provide mapping and GIS analysis and data management support for area and forward operating command posts in response to the BP Deepwater Horizon oil spill.

Frontline Conservation Real Estate/MineShine/ GIS Technician/Cartographer

August 2008

Produce map layouts for conservation real estate using tax map data, DEMs, and remotely sensed images, assemble GIS for demographic mapping across the southeastern United States.

Lower San Pedro Restoration Monitoring Program/ Field Research Team Leader

December 2008

Woody vegetation sampling, geomorphic surveying, ground and surface water monitoring, GIS data processing and display for Nature Conservancy lands.

Education

Appalachian State University / M.A. Geography

August 2009: Boone, NC

Master's Thesis: Groundwater Yield Modeling in the Fractured Bedrock Aquifers of the Blue Ridge Physiographic Province, Watauga County, North Carolina

Appalachian State University / B.S. Geography

2006: Boone, North Carolina

Appalachian State University / B.S. Community & Regional Planning

2006: Boone, North Carolina

Skills, Abilities, Knowledge

-
- GIS software (ArcInfo, ERDAS Imagine, GeoMedia, Whitebox GAT, SAGA), geo-database management, administration, environmental and watershed modeling
 - GPS sampling: Trimble Yuma, Trimble Geo XT, XH with ArcPad (incl. differential correction), Garmin units
 - Cartography, satellite imagery and aerial photography interpretation, utilization, vegetation indices, image geo-rectification
 - Mapping and GIS data management for disaster response
 - TOPCON Total Station Survey equipment (pulse station, handheld unit, post-processing)
 - Botanical inventorying, geomorphologic assessment, soils, geology
 - Stream flow gaging and groundwater level monitoring, hydrologic/hydraulic computations
 - Water quality sampling (grabs, ISCO 6712 Portable Sampler, YSI 556 Multi-Probe Sensor)
 - Stormwater BMP inspection, citation, reporting, and consultation, erosion control
 - Statistical modeling and methods (SPSS, PSPP)
 - Graphic display and data processing in Microsoft Office Suite and Corel products



G. Photographic Documentation

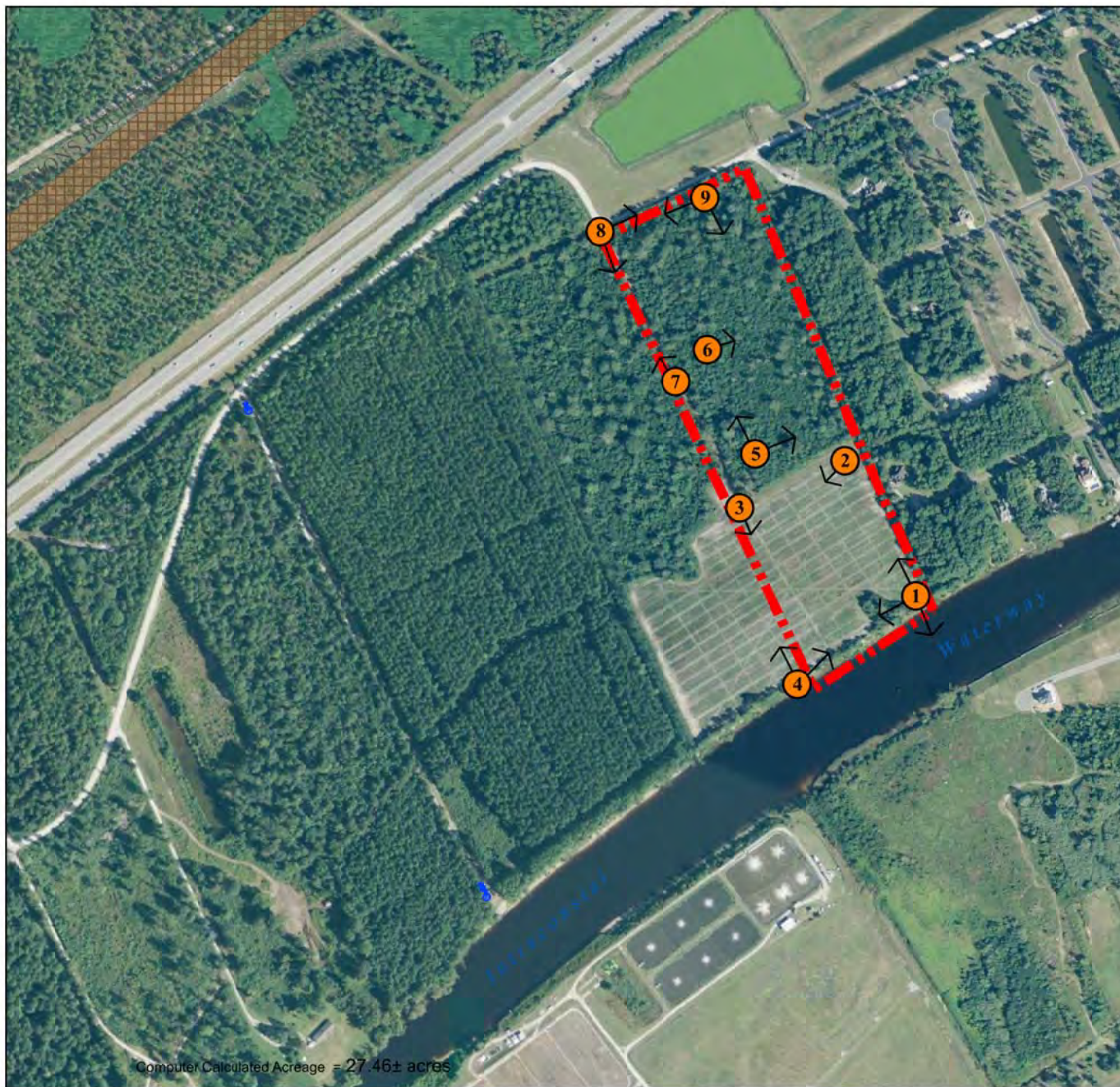


~North Bay Cove
Conservation Area~



Horry County,
South Carolina

~Photographic Documentation~

*Williams Gandy,
NALT Biogeographer
July 12, 2016*



LEGEND:

-  Subject Property
28.04± acres
-  Approximate Direction &
Location of Photograph

Photographs taken July 12, 2016 by
Williams Gandy, NALT Biogeographer

NOTES:

1. Property boundaries from Tru Briggman Company, dated 8/2/2015.
2. Aerial Photography from Maytech, dated 2013.
3. Topography from Wampers, USGS Quadrangle sheet.
4. Sales information from USDA NRCS Soil Information System Database (NASIS).



NORTH BAY COVE

HORRY COUNTY, SOUTH CAROLINA

PHOTOGRAPHIC INDEX MAP



North Bay Cove Photo Documentation

July 12th, 2016



Golden silk orb-weaver (Nephila sp.) spider



1 NNW



1 SW



1 SE



2 SW



3 SSE



4 NE



4 NNW



4 SE



5 NNW



5 ENE



6 ENE



7 NNW



8 SSE



8 ENE



9 WSW



9 SSE



H. Supportive Mapping



~North Bay Cove
Conservation Area~

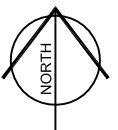
Horry County,
South Carolina

~Supportive Mapping~

1. *Location Map*
2. *Base Map*
3. *Topography*
4. *Soils Map*
5. *Vegetation Map*
6. *Aerial Photograph*
7. *Concept Plan*



LEGEND



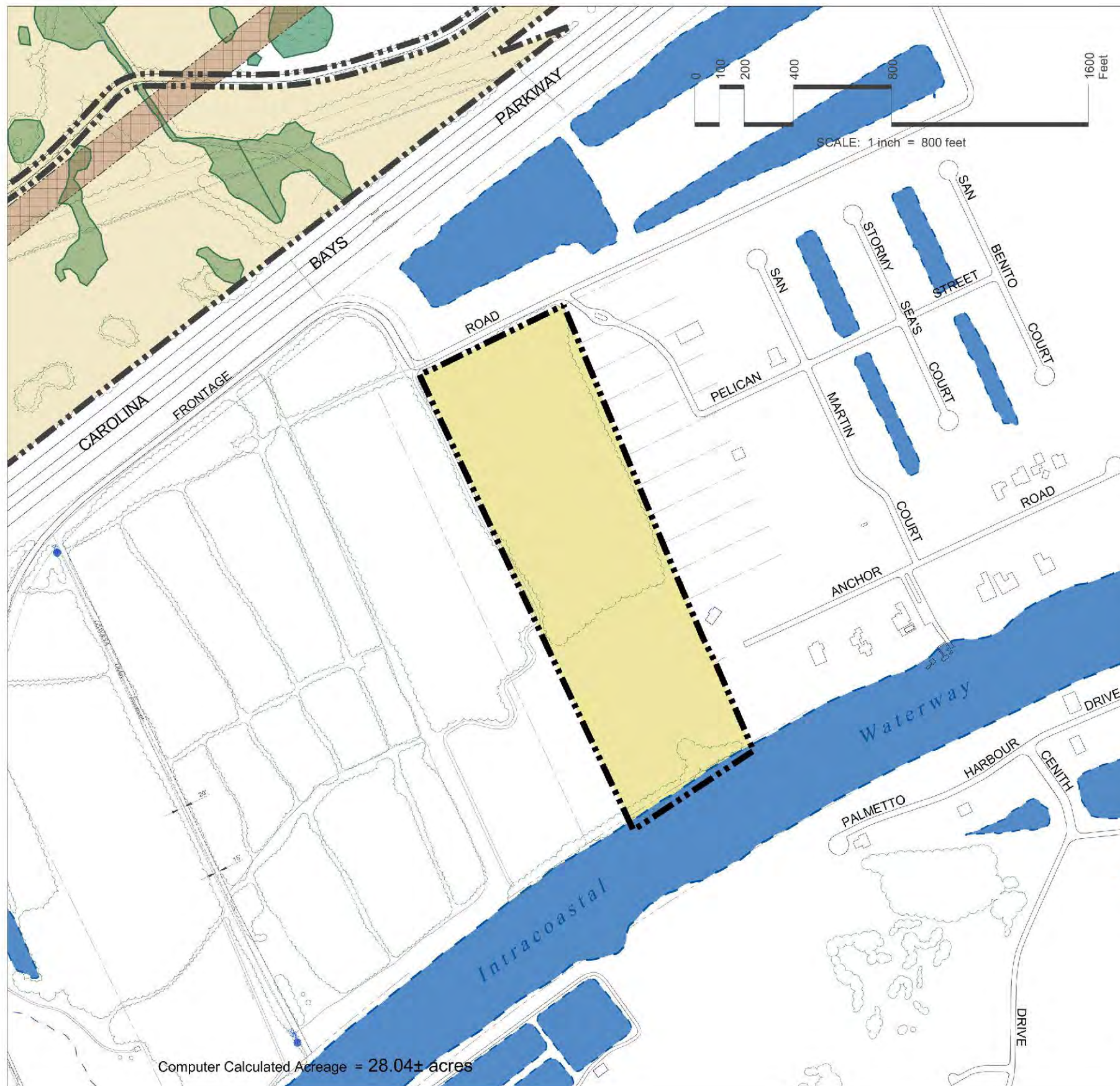
NORTH BAY COVE

Horry County,
South Carolina

LOCATION MAP




100 Highway 118 Road • P.O. Box 417 • Charles Fort, Pennsylvania 15017 • phone (610) 388-3070 • fax (610) 388-3075 • www.natl.org



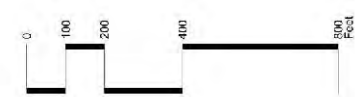
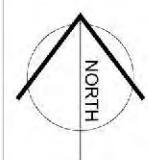
Computer Calculated Acreage = 28.04± acres

LEGEND:

 Subject Property

NOTES:

1. Property boundaries from The Brigman Company, dated April 21, 2016.
2. Aerial Photography from Apollo Mapping, dated January 18, 2016.
3. Topography from DEM (2foot contour interval).
4. Soils information from USDA NRCS Soil Information System Database (NASIS).
5. Wetlands assesment from The Brigman Company, September 28, 2015.



NORTH BAY COVE

HORRY COUNTY, SOUTH CAROLINA

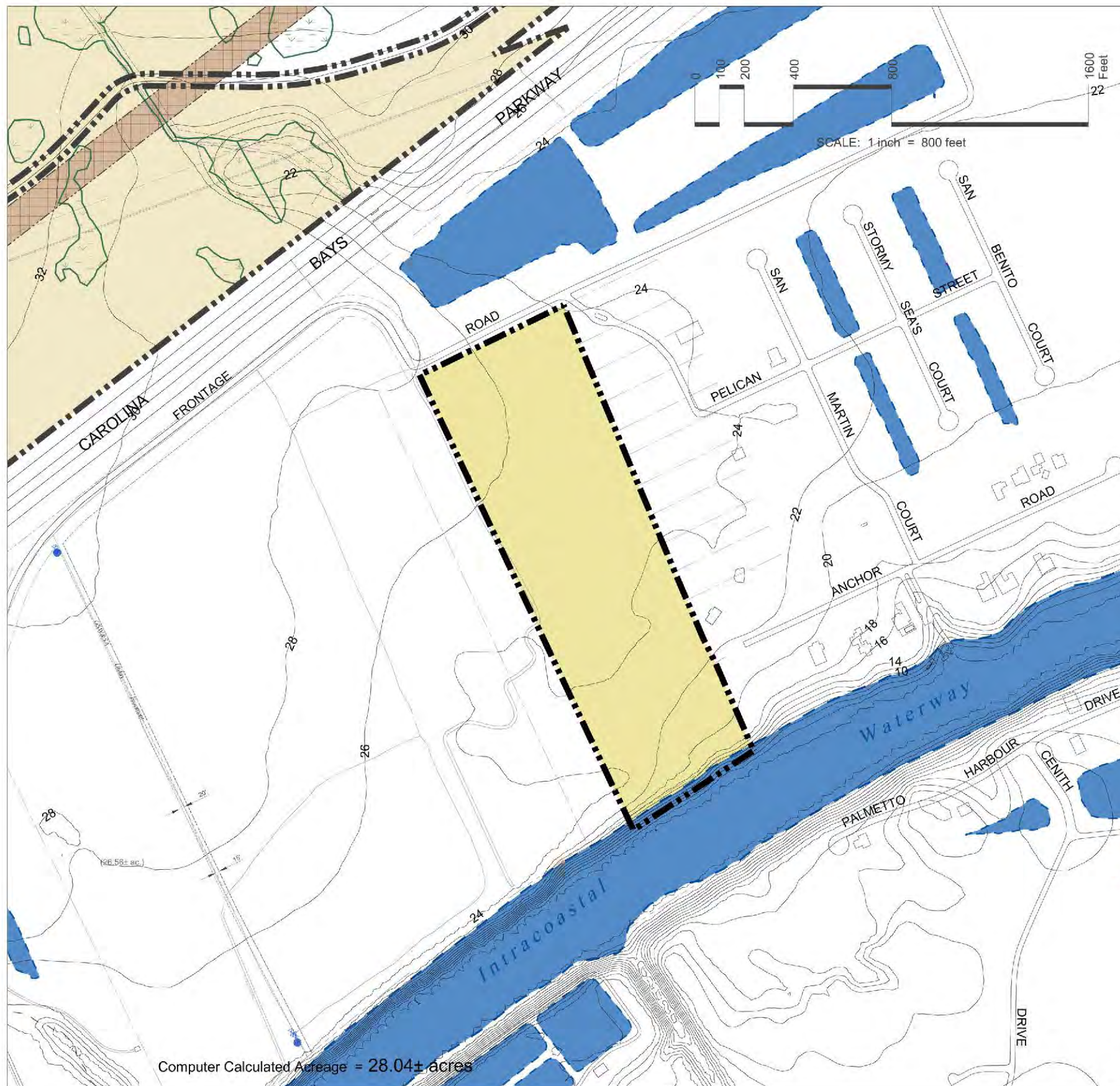
BASE MAP

BASE MAP: 8.22.20 J. JBS
C. PLAN: 10.12.20 J. JBS
C. PLAN: 11.12.20 J. JBS
C. PLAN: 12.12.20 J. JBS



101 Highway 98 Road • P.O. Box 437 • Chaboier, Pennsylvania 15017 • phone (810) 384-3570 • fax (810) 338-3873 • www.natg.org

BASE MAP



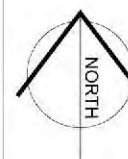
Computer Calculated Acreage = 28.04± acres

LEGEND:



NOTES:

1. Property boundaries from The Brigman Company, dated April 21, 2016.
2. Aerial Photography from Apollo Mapping, dated January 18, 2016.
3. Topography from DEM (2foot contour interval).
4. Soils information from USDA NRCS Soil Information System Database (NASIS).
5. Wetlands assesment from The Brigman Company, September 28, 2015.



NORTH BAY COVE

HORRY COUNTY, SOUTH CAROLINA

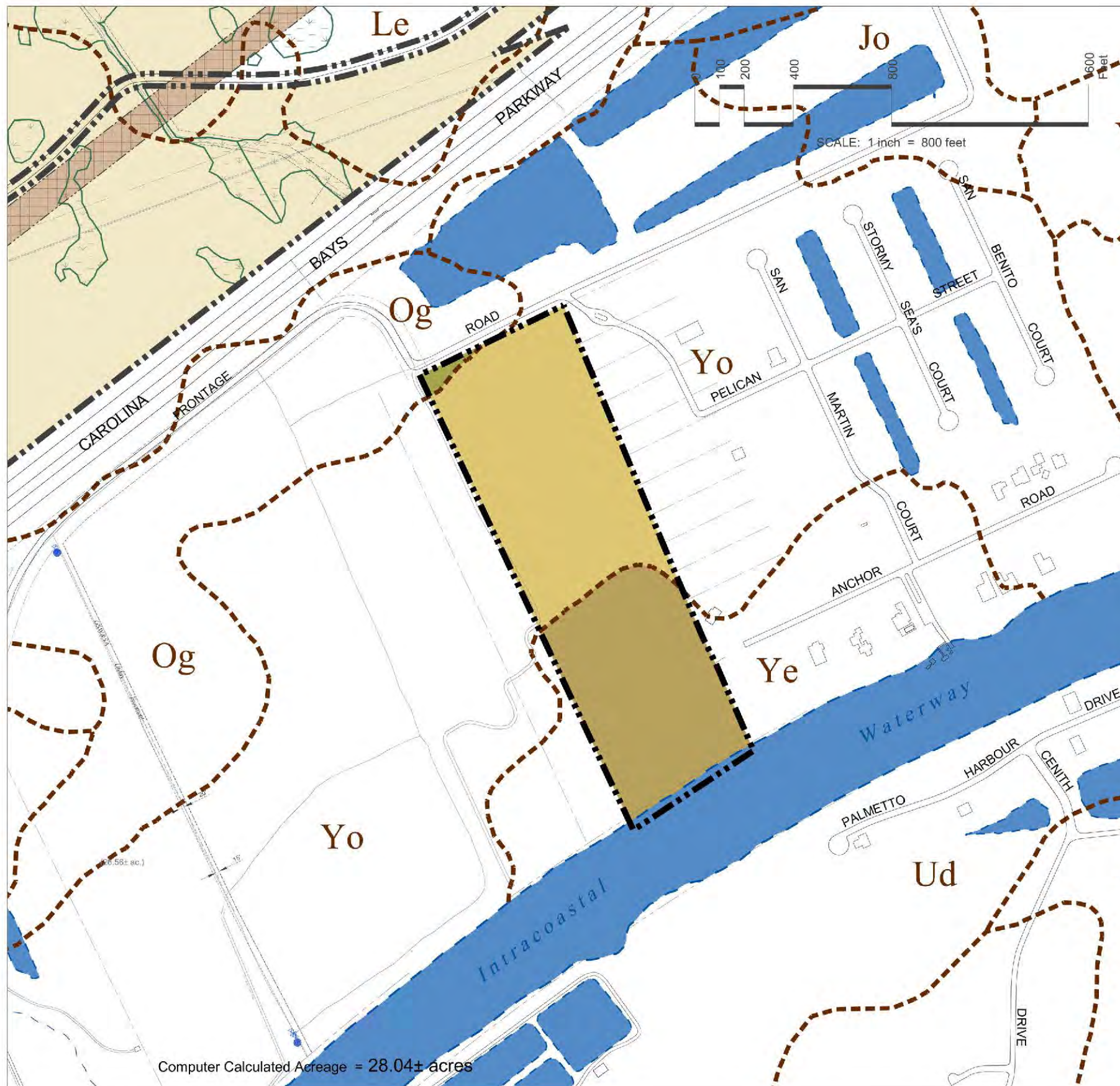
TOPOGRAPHY

BASE MAP: 8.22.20 + JBS
C. PLAN: 10.15.2014 + JBS
C. FIELD: 11.17.2014 + JBS
DRAFT: 12.16.2014 + JBS

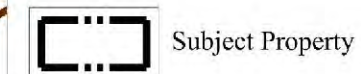


10900 Highway 98 Road • P.O. Box 487 • Chabo, Florida 33429 • phone (813) 583-3570 • fax (813) 583-3873 • www.natl.org

TOPOGRAPHY



LEGEND:

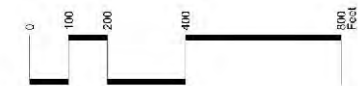
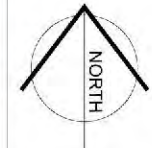


SOIL LEGEND:

| | |
|----|-------------------------------|
| Og | Ogeechee Loamy Fine Sand ***^ |
| Ye | Yemassee Loamy Fine Sand *** |
| Yo | Yonges Fine Sandy Loam ***^ |

Soil Notes:
*** denotes Prime Farmland
** denotes Farmland of Statewide Importance
^ denotes Hydric Soils

- NOTES:
1. Property boundaries from The Brigman Company, dated April 21, 2016.
 2. Aerial Photography from Apollo Mapping; dated January 18, 2016.
 3. Topography from DEM (2foot contour interval).
 4. Soils information from USDA NRCS Soil Information System Database (NASIS).
 5. Wetlands assesment from The Brigman Company, September 28, 2015.



SOILS MAP

NORTH BAY COVE

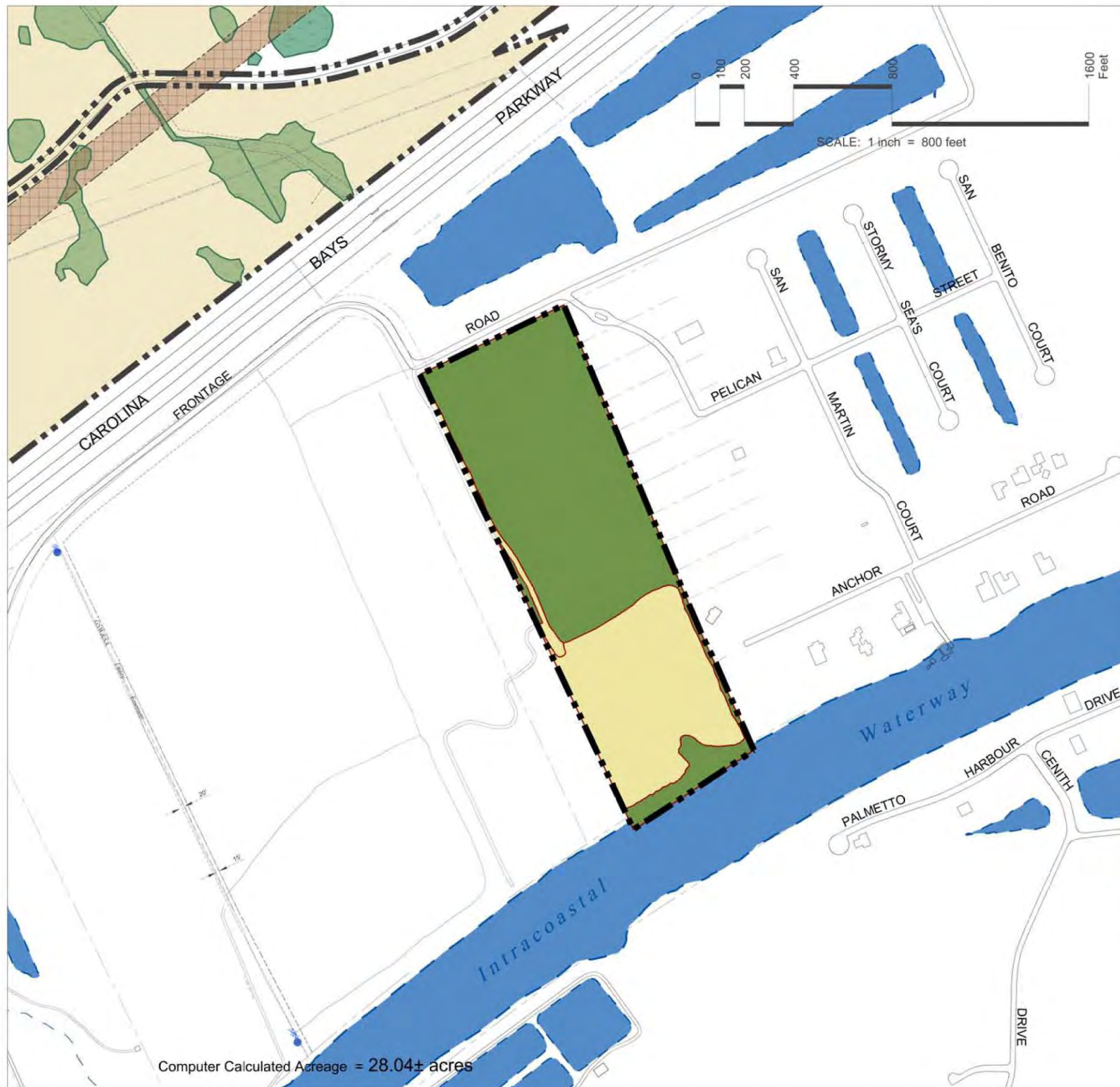
HORRY COUNTY, SOUTH CAROLINA

SOILS MAP


BASE MAP: 8.22.20 J. JB
C. PLAN: 10.12.21 J. JB
C. PLAN: 11.12.21 J. JB
C. PLAN: 12.12.21 J. JB



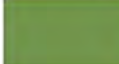
101 Highway 98 Road • P.O. Box 437 • Charles Fort, Pennsylvania 15017 • phone (810) 384-3570 • fax (810) 338-3873 • www.natg




LEGEND:

 Subject Property - 28.04± acres

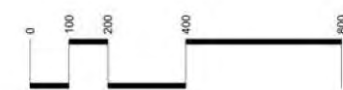
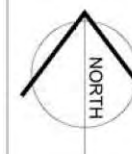
VEGETATION LEGEND:

 Southern Atlantic Coastal Plain
Mesic Hardwood Forest System

 Agricultural Field/Road

NOTES:

1. Property boundaries from The Brigman Company, dated April 21, 2016.
2. Aerial Photography from Apollo Mapping; dated January 18, 2016.
3. Topography from DEM (2foot contour interval).
4. Soils information from USDA NRCS Soil Information System Database (NASIS).
5. Wetlands assesment from The Brigman Company, September 28, 2015.



NORTH BAY COVE

HORRY COUNTY, SOUTH CAROLINA

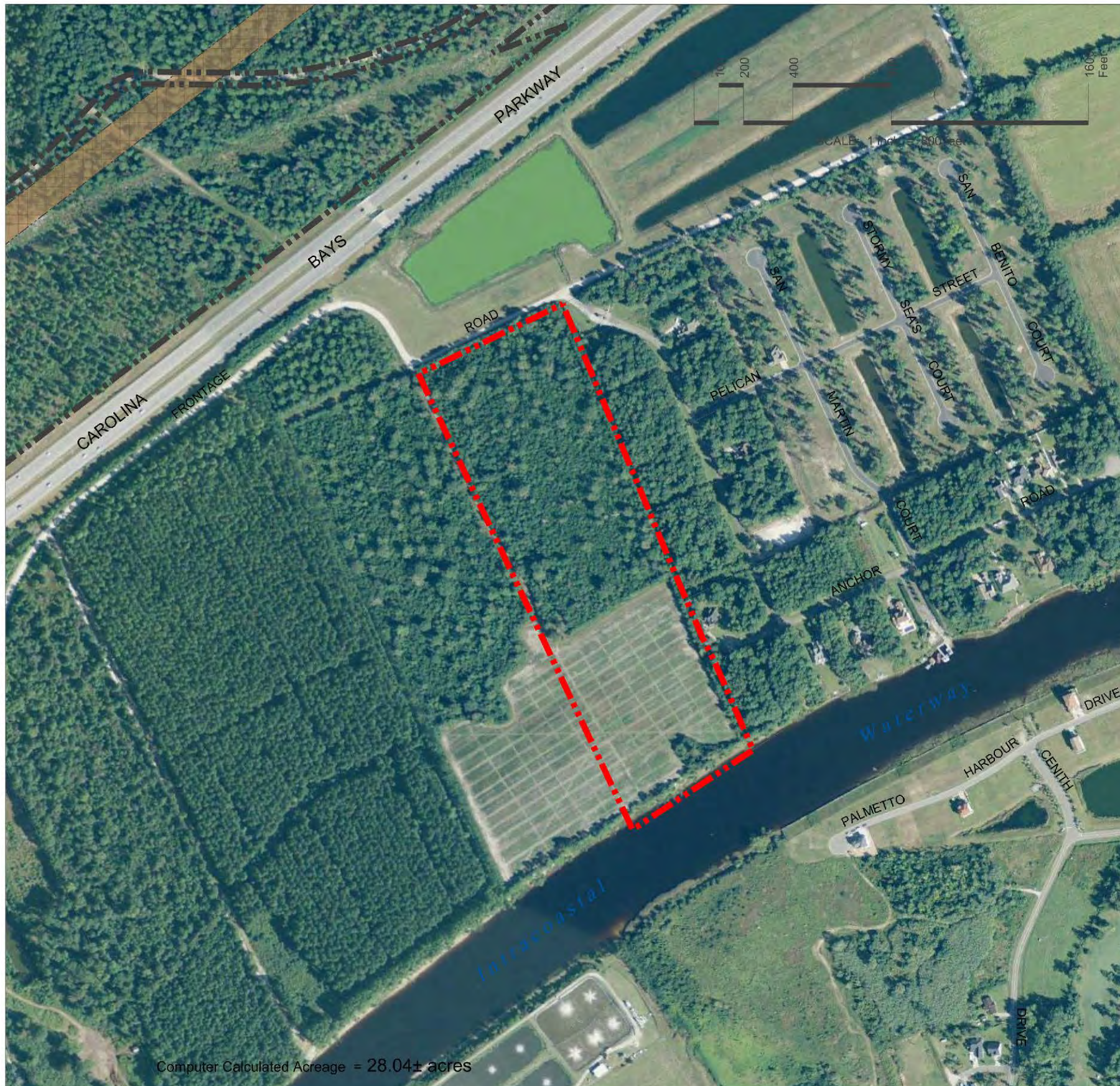
VEGETATION MAP

DATE MAP: 05-22-2014 .205
C. PLAN: 10-15-2014 .205
C. PLAN: 11-17-2014 .205
UPDATED: 12-2-2014 .205



100 Federal Hill Road • P.O. Box 487 • Chelley Farm, Pennsylvania 19017 • phone (610) 366-3079 • fax (610) 366-3073 • www.natl.org

VEGETATION MAP

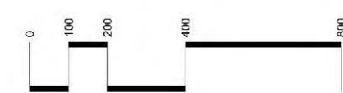
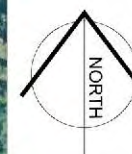


LEGEND:



NOTES:

1. Property boundaries from The Brigman Company, dated April 21, 2016.
2. Aerial Photography from Apollo Mapping; dated January 18, 2016.
3. Topography from DEM (2foot contour interval).
4. Soils information from USDA NRCS Soil Information System Database (NASIS).
5. Wetlands assesment from The Brigman Company, September 28, 2015.



NORTH BAY COVE

HORRY COUNTY, SOUTH CAROLINA

AERIAL PHOTOGRAPH

BASE MAP: 8.22.20 # 105
C. PLAN: 10.13.20 14. 302
C. PLAN: 11.13.20 14. 302
PRINTED: 10.13.20 14. 302



101 Highway 101 Road • P.O. Box 487 • Chubb's Cove, Pennsylvania 15017 • phone (610) 384-2570 • fax (610) 384-3873 • www.natl.org

AERIAL PHOTOGRAPH

