



LONGLEAF DISTRICT EXAMPLE



HARDWOOD DISTRICT EXAMPLE



FARMHOUSE DISTRICT EXAMPLE

ARCHITECTURAL GUIDELINES

The architectural character is essential to a sense of place. The home style will be Southern Coastal Architecture. See pages 6 thru 8 for imagery that reflects the desired character for each district. Plans shall be submitted to the Design Review Board (DRB) for review and approvals.

MATERIALS AND DESIGN CONSIDERATIONS:

- Primary walls shall be finished in wood or hardiplank. No vinyl siding will be allowed.
- Accent walls, foundations, chimneys shall be finished in stucco, tabby, or brick. Primarily stucco homes will not be allowed.
- Roofs shall be metal or asphalt shingle
- Windows are required to have grids.
- Gutters and Downspouts shall be round and either galvanized steel or trim color.
- Homes should be positioned within the building envelope to minimize the removal of existing vegetation. A site plan is required to be submitted to the DRB showing building(s) placement and existing trees 18” and greater being removed.

MASSING:

- Homes will be required to be raised (exposed foundation) a minimum of 24”.
- Building height from finished grade to top of roof shall not exceed 35’.
- Four-sided architecture is required.
- All building elements attached to a primary mass are to be subordinate in height and size.
- Second story windows should generally be shorter than first floor windows.
- Chimney, stoops, and walls protruding from a wall must be supported by a foundation wall extending to the ground.
- Wall, roof, window, door and trim colors shall be submitted to the DRB for approval.
- All exterior trim or siding including stairs are required to be painted or stained.
- All plans should incorporate exterior front and rear porches (wrap-around at times) to take advantage of the natural surroundings. Each district has its own unique features and the homes should be designed to respond appropriately.

LONGLEAF DISTRICT:

- Primary masses should be symmetrical and simple in plan and be 2 stories.
- Colors can vary from muted earth tones to traditional muted horse farm colors.

HARDWOOD DISTRICT:

- Primary masses should be rectangular or ‘L’ shaped in plan.
- Muted earth tones are required to integrate the house with existing landscape.
- Homes should be sited to nestle in to the existing trees.

FARMHOUSE DISTRICT:

- Primary masses should be simple and rectangular in plan and focus on “unbundled” massings with a 2 story main mass.
- Farmhouse lots have views to front and rear so wrap around porch elements should be considered.
- White, off white and very light muted color are required.



LONGLEAF DISTRICT EXAMPLE



HARDWOOD DISTRICT EXAMPLE



FARMHOUSE DISTRICT EXAMPLE

LANDSCAPE ARCHITECTURAL GUIDELINES

The Landscape Architecture shall blend with the character of the natural environment and the style of architecture, southern coastal. Plans shall be submitted to the design review board (DRB) for review and approvals.

MATERIALS AND DESIGN CONSIDERATIONS:

- Plantings will be required to be native and naturized species
- Materials will be required to be traditional southern coastal materials.
Examples: Brick, Iron, Wood, Tabby, Plantation Mix, Shell
- Consideration of adjacent homes, natural features, significant vegetation, views and solar orientation will be important factors in determining the site plan.

LANDSCAPE PLAN:

- Shall locate all disturbed areas and provide a plan to re-vegetate these areas
- Shall screen outside storage areas
- Shall provide understated foundation plantings to complement the architecture.

LONGLEAF DISTRICT:

- Materials to be muted earth and tones and traditional horse farm colors
- Landscape to be a mix of formal foundation plantings quickly transitioning to informal as it connects to existing vegetation.

HARDWOOD DISTRICT:

- Materials to be muted earth tones colors
- Landscape to be informal and act as an extension of the existing vegetation

FARMHOUSE DISTRICT:

- Materials to be white, off white and very light muted colors
- Landscape to be simple, understated and formal in arrangement



WILDLIFE



ARCHITECTURAL CHARACTER



ECOSYSTEM MANAGEMENT



ARCHITECTURAL CHARACTER



ECOSYSTEM MANAGEMENT

WILDLIFE



Perspective Rendering // N.T.S.

Potential Farmhouse District Plan 1645

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700



Potential Farmhouse
District Plan 1645





Left Side Elevation // 1/8" = 1'-0"

Potential Farmhouse District Plan 1645 side elevation

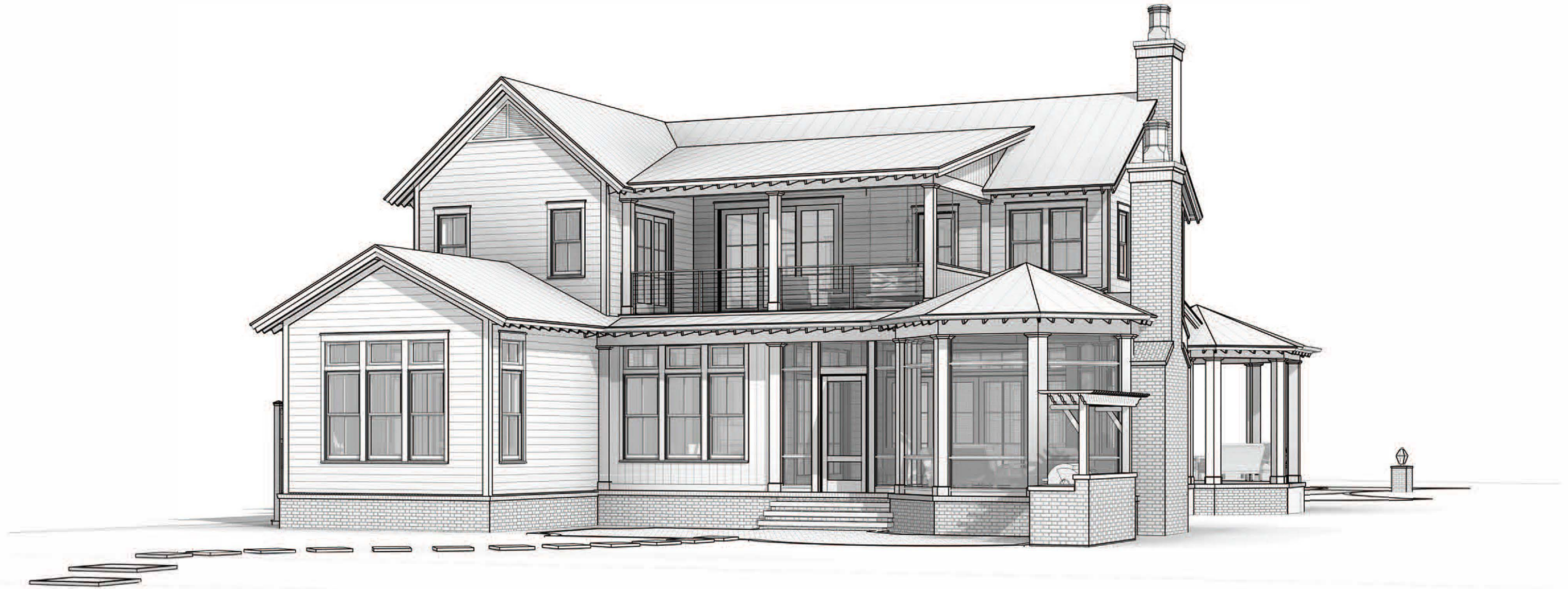
Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700



Potential Farmhouse

District Plan 1654





Rear-Left Perspective // N.T.S.

Potential Farmhouse District Plan 1654 Computer Model

pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700





FRONT ELEVATION



REAR ELEVATION

Potential Farmhouse District



ECOSYSTEM MANAGEMENT

WILDLIFE



ARCHITECTURAL CHARACTER

Hardwood District: Plan 1862





Hardwood Plan 1862

Right Side Elevation // 1/8" = 1'-0"

Plan Book // Sandridge

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700



Hardwood District: Plan 1437





Hardwood Plan 1437

Left Side Elevation // 1/8" = 1'-0"

Plan Book // Sandridge

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700





Front Elevation



Rear Elevation

Hardwood Plan 1526

Front and Rear Elevations // 1/8" = 1'-0"

Plan Book // Sandridge

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700



PEARCE
SCOTT
ARCHITECTS



WILDLIFE



ARCHITECTURAL CHARACTER



WILDLIFE



ECOSYSTEM MANAGEMENT



Farmhouse, Hardwood or
Longleaf District Option
Plan 1456



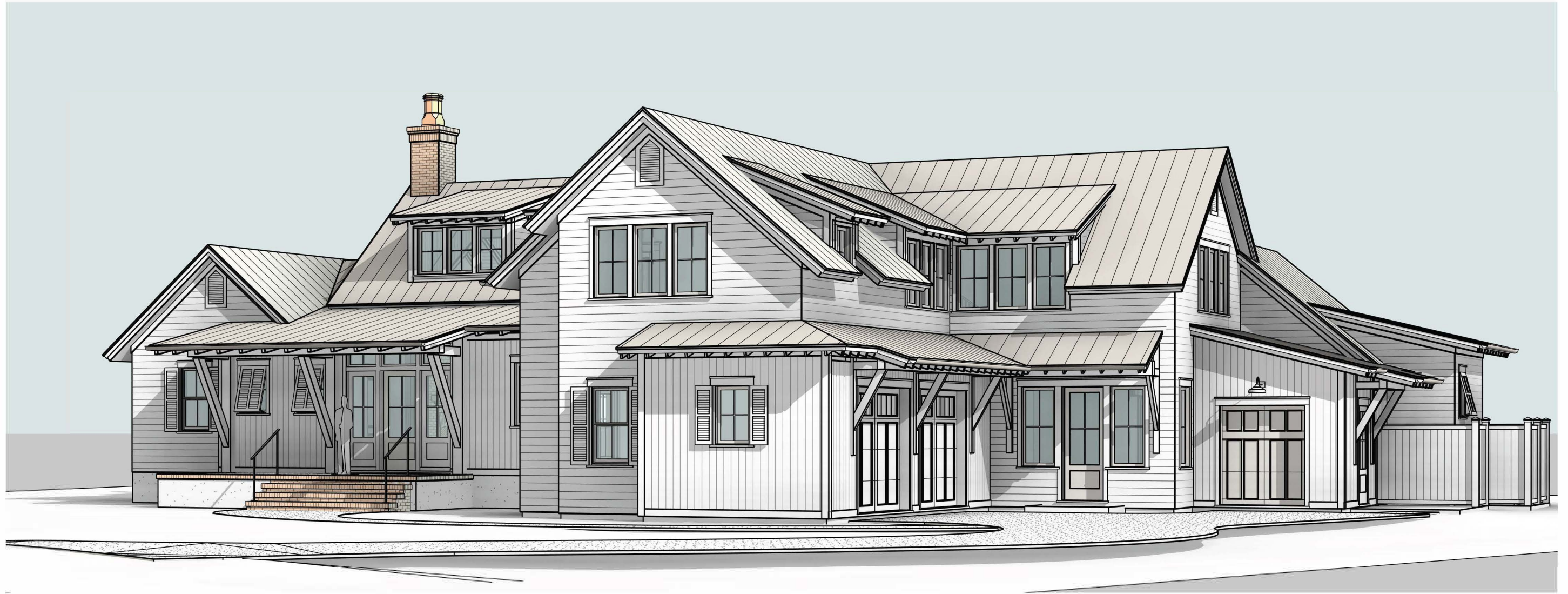


Front Elevation // 1/8" = 1'-0"

Potential Sandridge Plan (all districts)

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700





Front-Right Perspective // N.T.S.

Potential Longleaf District Plan 1749 side view

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700





Rear Elevation // 1/8" = 1'-0"

Potential Longleaf District Plan 1749 Rear View

Pearce@pscottarch.com
6 State of Mind St., Suite 200, Bluffton, SC
843.837.5700

